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BAYSHORE YACHT AND TENNIS CLUB CONDOMINIUM

7904 WEST DRIVE
NORTH BAY VILLAGE FLORIDA

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BAYSHORE YACHT AND TENNIS CLUB CONDOMINIUM
7904 WEST DRIVE
NORTH BAY VILLAGE
FLORIDA

ARCHITECTURE
PLANNING
INTERIORS

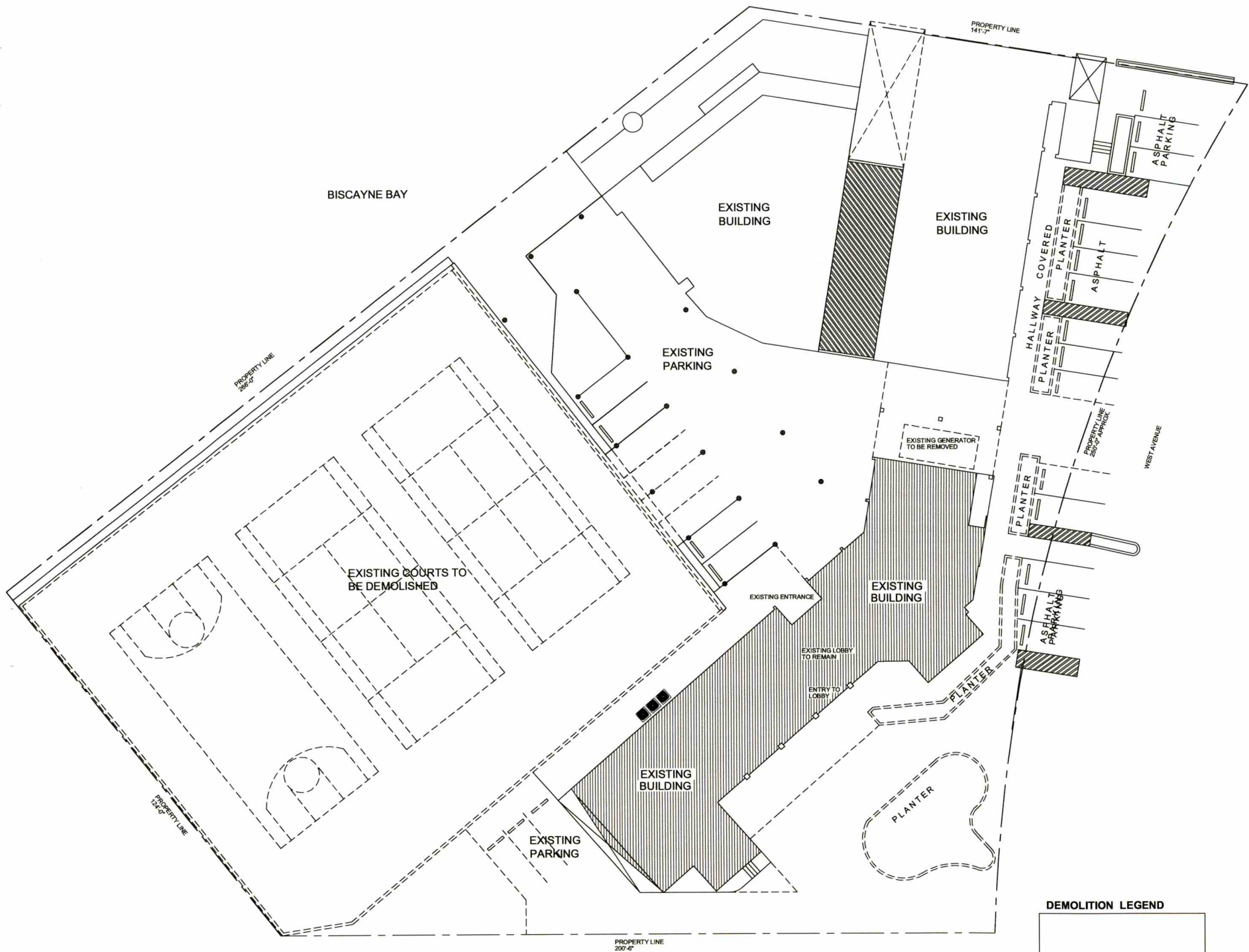
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PROJECT NO.
1509
DATE
9/16/16
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SHEET NO

A-0



DEMOLITION LEGEND

--- EXISTING TO BE DEMOLISHED

DEMOLITION NOTES:

1. INTERIOR PARTITIONS SHALL BE REMOVED AND DISPOSED AS INDICATED ON THIS PLAN. (LEGEND)
2. CONTRACTOR SHALL PATCH AND REPAIR DRYWALL CEILING THAT IS EXISTING TO REMAIN.
3. EXISTING DOORS, DOOR FRAMES & HARDWARE SHALL BE REMOVED. (UNLESS OTHERWISE NOTED)
4. THE CONTRACTOR SHALL FURNISH ALL LABOR MATERIALS & EQUIPMENT TO DEMOLISH, REMOVE & SALVAGE IN THE DISPOSITION OF DEMOLITION IN EXISTING SPACE.
5. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING STRUCTURE OR EQUIPMENT CAUSED BY THIS OPERATION AND SHALL NOT INTERFERE WITH EXISTING STRUCTURE SYSTEM.
6. UPON COMPLETION OF DEMOLITION, THE ENTIRE AREA SHALL BE CLEANED OF ALL DEBRIS AND PREPARED FOR NEW CONSTRUCTION.
7. EXISTING CONDITIONS NOT SHOWN ON THIS PLAN SHALL BE REVIEWED WITH DESIGNER OR CLIENT TO REMOVE.
8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES AND SAFETY BARRIERS AS REQUIRED BY WORK, CONTRACTOR TO PROVIDE DUST CONTROL MEASURES.
9. WHERE EXISTING FLOOR IS TO BE REMOVED, CONTRACTOR SHALL PREPARE SLAB TO BE LEFT TO & SMOOTHED ON THESE FINISHES.
10. CONTRACTOR SHALL REMOVE AS INDICATED FINISH PLAN. SURFACE SHALL BE PREPARED TO RECEIVE NEW FINISHES.
11. CONTRACTOR SHALL LOCATE, IDENTIFY, SHUT-OFF AND DISCONNECT UTILITY SERVICES (ELECTRIC, GAS, WATER, SEWER, RADIANT HEAT, ETC.) IN THE SUBTERRANEAN AND TIE-OFF AT SOURCE. REMOVE AND PLUG WATER LINES AT SOURCE. (ONLY IF SO NOTED)
12. ALL ITEMS OF SALVAGEABLE VALUE, AS DETERMINED BY THE OWNER, SHALL BE REMOVED AND STORED IN A SECURE LOCATION PRIOR TO THE DEMOLITION OF THE BUILDING. (REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION)
13. CONTRACTOR SHALL VISIT AND INSPECT THE SITE PRIOR TO BID.
14. ALL CEILING FIRE ALARM DEVICES (SPEAKERS, SMOKE DETECTORS) SHALL REMAIN, CONNECTED TO EXISTING SYSTEMS. (REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION)
15. ALL EXISTING AIR DUCTWORK, DIFFUSERS (RETURN/SUPPLY) AIR DISTRIBUTION, CONTRACTOR SHALL REMAIN. (REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION)
16. CONTRACTOR SHALL COORDINATE WORK WITH OTHER TRADES AND SHALL PROTECT EXISTING STRUCTURE AND ALL EXISTING MATERIAL AND EQUIPMENT NOT SCHEDULED FOR REMOVAL.
17. CONTRACTOR SHALL COORDINATE TO ENSURE UTILITY SYSTEMS REMAIN IN OPERATION AS NEEDED TO ACCOMMODATE DEMOLITION ACTIVITIES. COORDINATE INTERRUPTIONS TO UTILITIES WITH THE OWNER'S REPRESENTATIVE AND ARCHITECT.
18. CONTRACTOR SHALL PROVIDE ALL PRACTICAL CARE TO PROVIDE DUST AND NOISE PROTECTION TO ADJACENT AREAS AND TO THE GENERAL PUBLIC. (REFER TO ENVIRONMENTAL PROTECTION ACT.)
19. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, CONTRACTOR SHALL STOP WORK AND IMMEDIATELY NOTIFY THE LANDLORD, HANDLING AND PROTECTION AGENCIES FOR REMOVAL OF HAZARDOUS MATERIALS.
20. CONTRACTOR IS RESPONSIBLE FOR PROVIDING, FURNISHING AND INSTALLING ALL ITEMS DESCRIBED IN THE DRAWINGS FOR A COMPLETE INSTALLATION REGARDLESS OF WHERE OR HOW IT IS TO BE REMOVED. CONTRACTOR SHALL COORDINATE AND FACILITATE INSTALLATION OF ALL ITEMS FOR WORK MARKED "REPAIR".
21. CONTRACTOR SHALL OBTAIN ALL PERMITS WITH APPLICABLE BUILDING DEPARTMENTS AND SHALL OBSERVE AND FOLLOW ALL APPLICABLE ORDINANCES AND CODES.
22. THE LATEST VERSION OF THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION BY THE AMERICAN INSTITUTE OF ARCHITECTS SHALL APPLY.
23. CONTRACTOR TO SUBMIT UNIT PRICES FOR ALL MATERIAL AND LABOR COSTS.
24. CONTRACTOR SHALL INSPECT THE DEMOLISHED BUILDING AREA AND FAMILIARIZE HIMSELF WITH ALL EXISTING STRUCTURAL, MECHANICAL, AND ELECTRICAL CONDITIONS INVOLVED IN THIS CONTRACT.
25. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN DIMENSIONS IN ONE OF THE PLANS AND FIELD CONDITIONS AND DISCREPANCIES IN PRODUCTS SPECIFIED IN CASE OF DISCREPANCY IN METHODS OR PRODUCTS & MATERIAL, MOST EXPENSIVE SOLUTION APPLIES.
26. ALL CONSTRUCTION DELIVERIES ARE TO BE COORDINATED WITH THE BUILDING MANAGEMENT.
27. GENERAL CONTRACTOR SHALL COORDINATE AND ARRANGE USE OF TOILET FACILITIES WITH BUILDING MANAGER AT A PRE-CONSTRUCTION MEETING.
28. CONTRACTOR SHALL REMOVE, CUT AND PATCH ALL EXISTING CONSTRUCTION AND FINISHES AS REQUIRED TO PREPARE THE PREMISES FOR NEW WORK AND ALTERED WORK.
29. FOR ALL DEMOLITION WORK AND REMOVAL OF CONSTRUCTION DEBRIS, THE CONTRACTOR IS TO COORDINATE WITH THE BUILDING ENGINEER IN ORDER THAT IT WILL NOT INTERFERE WITH THE EXISTING TENANTS AND THE USE OF ELEVATORS, ETC.
30. EXISTING FINISHES, WALLS, FLOORS, CEILING AND BASES, EXCEPT ALL SURFACES TO BE REMOVED, SHALL BE MAINTAINED AND PROTECTED FROM ANY DAMAGE OR MADE TO MATCH OR ALIGN WITH ALL EXISTING MATERIALS AND FINISHES.
31. REPAIR AND RESTORE, TO MATCH AND ALIGN WITH ALL EXISTING MATERIALS AND FINISHES, ALL WORK AREAS AND FINISHES THAT IS DAMAGED OR REMOVED DURING THE DEMOLITION WORK.
32. ALL CONSTRUCTION WORK PERFORMED ON OTHER FLOORS / TENANT SPACES, THE SPACES ARE TO BE RETURNED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE EXISTING TENANT. (REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION)
33. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE THAT OCCURS TO THE EXISTING BUILDING, OTHER FLOOR AREAS AND TENANT SPACE CAUSED BY THE NEW CONSTRUCTION.
34. ALL SPRINKLER HEADS, DOWNLIGHTS, SPEAKERS, SMOKE DETECTORS AND ALL OTHER DEVICES, UNLESS OTHERWISE NOTED SHALL REMAIN AND OR BE RELOCATED. (REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION)
35. ALL PENETRATION FIRESTOP FOR METAL PIPE AND INSULATED PIPE SHALL BE IN ACCORDANCE WITH THE BASE BUILDING SPECIFICATIONS SHALL APPLY, PER FIREPROOFING.
36. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE FIRE ENVELOPE DURING DEMOLITION AND CONSTRUCTION.
37. CONTRACTOR SHALL NOTIFY DESIGNER OR CLIENT OF ANY EXISTING CONDITIONS NOT SHOWN ON THIS PLAN AND SHALL REVIEW THESE PRIOR TO PROCEEDING WITH THE WORK.
38. ANY ELECTRICAL & PLUMBING LINES WHICH REQUIRE REMOVAL AND/OR ALTERATION CONTRACTOR SHALL CAP & FILL SLAB/PARTITION WITH SAME FIRE RATED INTEGRITY.
39. ALL EXISTING FURNITURE IN IMPACTED AREA SHALL BE STORED FOR REUSE IN TENANT SPACE.

GENERAL DEMOLITION NOTES

1. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY DETAIL OF DEMOLITION AND CONSTRUCTION. GENERAL CONTRACTOR SHALL VISIT JOB LOCATION TO BECOME THOROUGHLY FAMILIAR WITH THE WORK AND SHALL VERIFY ALL EXISTING CONDITIONS APPLICABLE TO THE DEMOLITION WORK PRIOR TO SUBMITTING A BID FOR THE WORK. IF ANY ITEMS AND/OR SYSTEMS ARE OTHER THAN AS DESCRIBED ON THESE DRAWINGS, THE CONTRACTOR SHALL SUBMIT A BID ON THE BASIS OF THE WORK ACTUALLY REQUIRED TO DEMOLISH, PROVIDE, OR INSTALL ANY ITEMS OR SYSTEMS EQUAL TO THE DESIGN AS DRAWN AND QUALIFY THE BID ACCORDINGLY. ADDITIONAL COSTS SHALL NOT BE ACCEPTED FOR ADDITIONAL OPENINGS FOR ANY BUILDING.
2. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE JOB SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROGRESSES. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF THE DEMOLITION.
3. DEMOLITION TO OCCUR IN SUCH A MANNER SO THAT ALL BUILDING STRUCTURAL COMPONENTS SUCH AS LIGHT, SWITCHES, AIR DIFFUSERS AND RETURN AIR GRILLES, POWER DEVICES, DOORS, FRAMES, HARDWARE, ETC. ARE CAREFULLY REMOVED AND SALVAGED FOR REUSE.
4. REMOVE OR RELOCATE ALL WIRING, PLUMBING AND MECHANICAL EQUIPMENT AFFECTED BY THE REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES AND SHALL BE PROPERLY CAPPED OR PLUGGED.
5. REMOVE ABANDONED DUCTWORK, WIRES, PIPES, ETC. SERVING THIS TENANT SPACE FROM PLENUM ABOVE AND BELOW THE CEILING AND FLOOR SLAB. INSTALL VALVE AND CAPS AS REQUIRED. ALL ABANDONED OPENINGS THROUGH THE SLAB (PLUMBING, ELECTRICAL, ETC.) TO BE RECLOSED TO MAINTAIN FIRE RATING. THE BASE BUILDING SPECIFICATIONS SHALL APPLY, PER FIREPROOFING.
6. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING COURSE OF WORK.
7. THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BOND REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK DESCRIBED HEREIN.
8. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY, COUNTY AND STATE LICENSES PRIOR TO COMMENCING CONSTRUCTION. IF SPECIAL PERMITS ARE REQUIRED FOR ANY OF THE WORK, THEY SHALL BE OBTAINED AND EXHIBITED. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH THE LAWS, ORDINANCES, CODES AND REGULATIONS BEARING ON THE CONDUCT OF THE WORK AS DRAWN AND SPECIFIED.
9. ALL DEBRIS SHALL BE REMOVED FROM THE PREMISES BY CONTRACTOR AND ALL AREAS SHALL BE LEFT IN A BROOM CLEAN CONDITION AT ALL TIMES.
10. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES, AND BE RESPONSIBLE FOR THE SECURITY OF THE SITE WHILE JOB IS IN PROGRESS AND UNTIL ITS COMPLETION.
11. THE GENERAL CONTRACTOR SHALL EXERCISE CARE DURING DEMOLITION AND REMOVAL TO ASSURE THAT ITEMS SCHEDULED FOR DEMOLITION ARE PROPERLY REMOVED AND ITEMS TO REMAIN ARE PROTECTED FROM DAMAGE.
12. ALL FINISHES AND SURFACES WHICH ARE DAMAGED DURING DEMOLITION SHALL BE REPAIRED AND OR REPLACED TO THE SATISFACTION OF ARCHITECT AT NO ADDITIONAL COST TO OWNER.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL NECESSARY DEMOLITION WORK.
14. ALL DEMOLITION WORK SHALL COMPLY WITH THE REQUIREMENTS SET FORTH BY THE FLORIDA BUILDING CODE, FEDERAL, STATE AND ALL OTHER APPLICABLE CODES AND REGULATIONS.
15. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND BE COMPLETELY FAMILIARIZED WITH THE EXISTING STRUCTURE PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
16. THE CONTRACTOR IS TO CONDUCT ALL NECESSARY DEMOLITION AND WORK AS REQUIRED TO PRODUCE A COMPLETE JOB READY FOR PROPOSED NEW WORK AS OUTLINED ON THE CONTRACT DOCUMENTS.
17. REMOVE EXISTING FLOORING AS REQUIRED PATCH/REPAIR/REPAIR AREAS AS REQUIRED TO RECEIVE NEW FINISHES.
18. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL WALLS, ALL DOORS AND FRAMES AS INDICATED BY DASHED LINE ON THE DEMOLITION PLAN.
19. REMOVE ALL WORK CAREFULLY TO EXTENT REQUIRED FOR FINAL WORK. REMOVE LOOSE OR CRACKED MATERIAL CAUSED BY DEMOLITION WORK. PATCH/REPAIR/REPAIR AREAS AND PATCH TO MATCH EXISTING WORK. NEATLY CUT OPENINGS, POCKETS, HOLES, WALL INTERSECTIONS AND SMALL CUTS. PARTITIONS TO BE REMOVED SHALL BE REMOVED FULL HEIGHT UNLESS INDICATED OTHERWISE.
20. PRIMARILY REMOVE DEBRIS TO AVOID IMPOSING EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS OR FRAMING.
21. ALL EXISTING FLOOR PENETRATIONS ARE TO BE PROPERLY PATCHED AND SEALED WITH FIRE-RATED MATERIAL.
22. ELECTRICAL CONTRACTOR TO REMOVE ALL ELECTRICAL ITEMS AS REQUIRED BY DEMOLITION WORK. MAINTAIN EXISTING CONTINUITY OF ALL ELECTRICAL CIRCUITRY AND HVAC SYSTEMS, I.E.,
23. ALL EXISTING WALL ELECTRICAL OUTLETS ARE TO REMAIN UNLESS INCORPORATED INTO DEMOLITION AREA. ELECTRICAL CONTRACTOR TO VERIFY EXACT AMOUNT OF ELECTRICAL DEMOLITION TO BE REMOVED FROM ALL AREAS.
24. ELECTRICAL CONTRACTOR TO REMOVE AND/OR RELOCATE ALL EXISTING LIGHT FIXTURES AND SWITCHES AS REQUIRED TO REFLECT SWITCH LOCATIONS AS INDICATED ON REFLECTED CEILING PLAN. ELECTRICAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO FINAL PRICING SUBMITTALS.
25. THE GENERAL CONTRACTOR TO VERIFY EXISTING ITEMS TO BE REUSED (DOORS, FRAMES, GRID, TILE, ETC.) REPAIR TO LIKE-NEW CONDITION WHEN POSSIBLE. STORE ITEMS NOT TO BE REUSED FOR TENANT'S INSPECTION.
26. REMOVE EXISTING WALL AND FLOOR FINISHES AS INDICATED. PATCH AND REPAIR SUBSTRATES (I.E., FLOOR SLAB, WALL SURFACES) FOR A SMOOTH AND LEVEL SURFACE AS NECESSARY FOR NEW FINISHES.
27. CONTRACTOR SHALL REMOVE FROM THIS SPACE ALL EXISTING RECEPTACLES, LIGHT FIXTURES, SWITCHES, SMOKE DETECTORS, FIRE ALARM SPEAKERS, FLASHING STATIONS, JUNCTION BOXES, CONDUIT AND WIRING THAT WILL NOT BE UTILIZED DURING THE TENANT IMPROVEMENT WORK. CONTRACTOR SHALL NOT ABANDON ANY EXISTING ELECTRICAL WORK.
28. CONTRACTOR SHALL RECORD ON BUILDING DRAWINGS ANY BUILDING WORK THAT WILL REMAIN IN THE TENANT IMPROVEMENT WORK. SPECIFICALLY JUNCTION BOXES FOR FIRE ALARM OR OTHER CONTROL WORK.
29. CONTRACTOR SHALL INVESTIGATE AND NOTIFY ENGINEER OF ANY EXISTING JUNCTION BOXES THAT MAY OCCUR OVER ANY INACCESSIBLE AREA AS SOON AS THE DEMOLITION WORK IS COMPLETED.
30. CONTRACTOR SHALL INCLUDE ACCESS PANELS OR RELOCATE JUNCTION BOXES ABOVE HARD CEILING AS REQUIRED.
31. ALL DEMOLITION WORK SHALL BE PERFORMED DURING THE TIME SCHEDULED PERMITTED BY THE LANDLORD.
32. ALL EQUIPMENT REMOVED AS PART OF THE DEMOLITION WORK IS THE PROPERTY OF THE LANDLORD. CONTRACTOR SHALL MOVE TO AREA DESIGNATED BY LANDLORD. IN THE EVENT LANDLORD CHOOSES NOT TO ACCEPT ANY OR ALL EQUIPMENT, THEN THE REMOVED EQUIPMENT BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES.
33. CONTRACTOR SHALL PERFORM THE WORK AS DIRECTED BY LANDLORD, BUT IN NO EVENT, SHALL THE WORK PERFORMED UNDER CONTRACT AFFECT THE OPERATING SCHEDULE OF THE EXISTING TENANT ADJACENT TO THE SPACE.

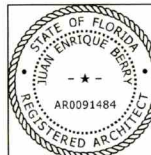
DEMOLITION SITE PLAN 1/16"

LEGAL DESCRIPTION

LOT 4 AND LOT 6 OF HARBOR ISLAND ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 44 PAGE 72 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA



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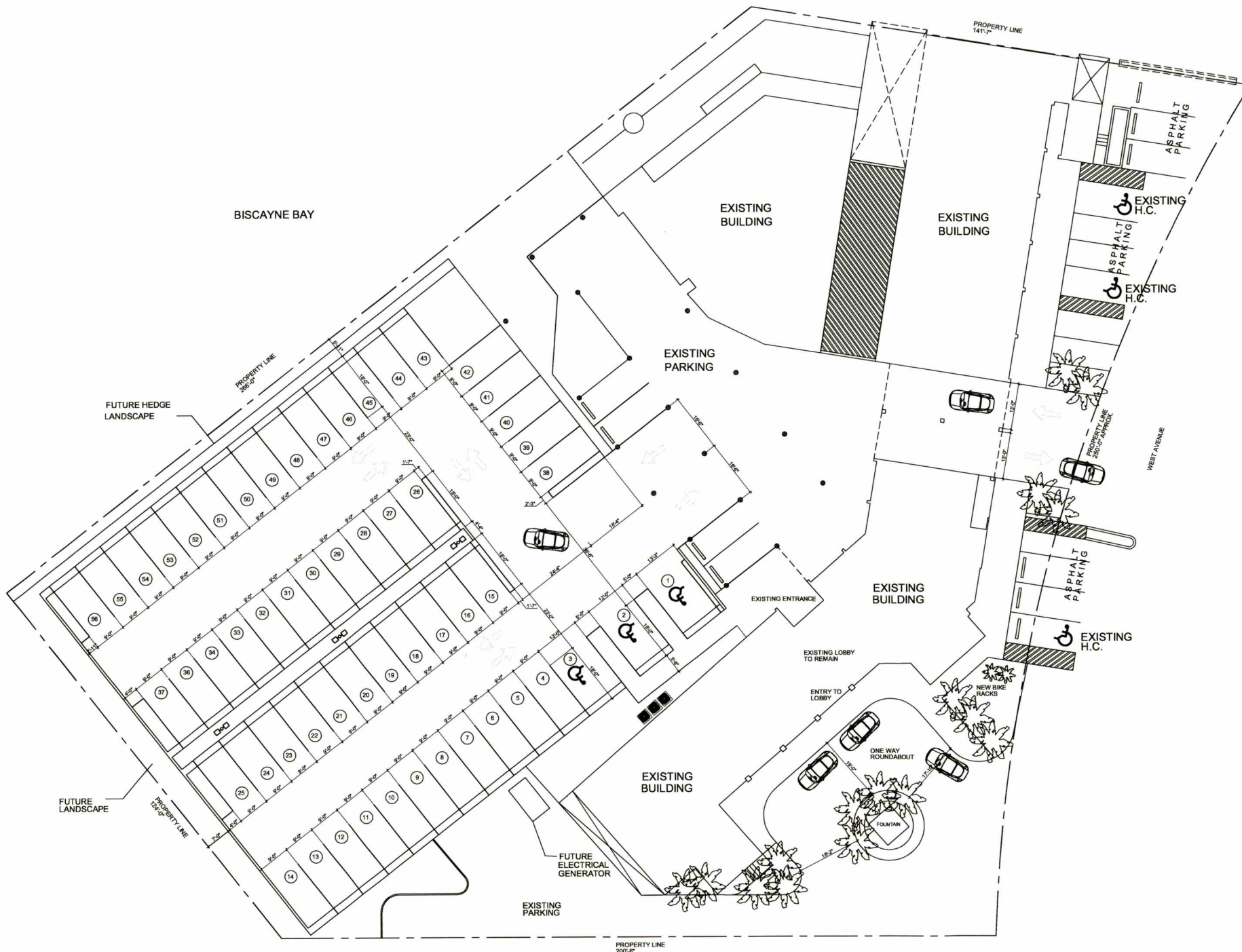
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SHEET NO

A-1



NEW ONE STORY PARKING FACILITY FOR 56 CARS

GROUND LEVEL 1/16"

LEGAL DESCRIPTION

LOT 4 AND LOT 6 OF HARBOR ISLAND ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 44 PAGE 72 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA



PARKING NOTES:

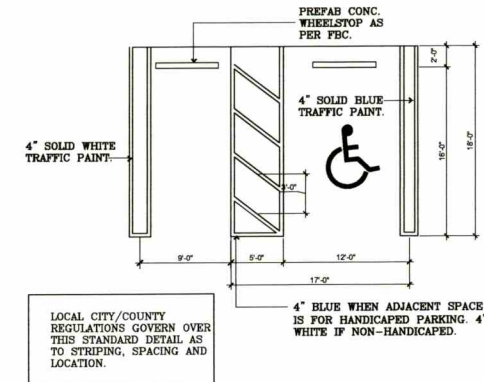
NEW PARKING TO COMPLY WITH THE LANDSCAPE ORDINANCES OF MIAMI-DADE COUNTY.

NEW LANDSCAPE AREAS TO BE 100% IRRIGATED WITH A IRRIGATION SYSTEM THAT COMPLIES WITH THE LANDSCAPE ORDINANCES OF MIAMI-DADE COUNTY.

NEW PARKING LIGHTING TO COMPLY WITH THE ORDINANCES OF MIAMI-DADE COUNTY, THE FLORIDA BUILDING CODE 2015 AND NEC 2008.

NOTE:

PARKING AND SECURITY LIGHTING SYSTEMS SHALL BE FURNISHED AS SPECIFIED ON PERMIT SET OF DRAWINGS. SUBMITTAL DRAWINGS ARE REQUIRED FOR APPROVAL PRIOR TO PLACING ORDERS FOR THIS EQUIPMENT. AN ILLUMINANCE POINT BY POINT LIGHTING CALCULATION IS REQUIRED TO FORM PART OF THE SUBMITTAL PACKAGE. NO DEVIATION FROM SPECIFIED EQUIPMENT WILL BE REVIEWED OR ACCEPTED.



TYP. PARKING STRIPING DETAIL NTS.

GENERAL NOTES:

all work should be in accordance with the requirements of the Florida 2014 edition building code, zoning requirements and other applicable municipal requirements

before performing any work or ordering any materials, the contractor shall verify all dimensions and conditions of any existing and new work and shall be responsible for their accuracy. any differences found shall be submitted to architect or engineer for verification before proceeding with the work.

the general contractor shall be held to have examined the site with respect to all existing field conditions and to have fully examined the complete set of architectural drawings as prepared by others, and shall be responsible for the condition and insertion of this drawing set, as is included as part of the original drawing set.

the general contractor shall locate all general reference points and take ordinary precautions to prevent their disruption; each prime subcontractor shall be responsible for layout of his own work and shall be required of and for his work. he shall be responsible for all lines, elevations, measurements, and others as may be required of and for his work. he shall be responsible for verifying all figures and details shown on the drawings which relate to his work, prior to laying out the work. he shall be held responsible for any error resulting from his failure to take such precautions.

divisions of the work for subcontracting purposes shall be as per the general contractor's direction.

it shall be the responsibility of all subcontractors to have examined and reviewed the complete set of working drawings, and /or specifications and to provide labor and material for their respective area of work for a complete and finished installation in compliance with the intent of the drawing and / or specifications, whether it is indicated or not. all work, whether indicated or not, shall be in compliance with all building codes and ordinances which are applicable to the project.

subcontractors shall cooperate with each other and with the general contractor to provide materials and labor that are necessary in each other's work at the proper times so that the construction schedule is not affected. these interfacings shall be the responsibility of the subcontractors whose work is affected as such. all work shall be performed by qualified contractors in strict accordance with manufacturer's specifications.

product manufactures indicated in schedule and /or on plans were selected based upon quality, style, size, color, etc. and are not intended to restrict competitive bidding; products "equal to" intended to be used as substitutes are subject to architect's approval in writing prior to product purchase and installation.

this drawing package is based on documents, specifications and related information provided by owner and or owner's agent.

the design information indicated on these plans is intended to be a complete and workable systems in accordance with all products manufactures' specifications, existing and / or proposed, building design, field conditions, etc.

architect shall be notified prior to start-up of construction, should existing conditions vary from drawings by greater than 1".

the general contractor or subcontractors shall be held responsible for the removal and disposal of materials and items commonly referred to as "debris" or determined by the remove all specific items indicated on drawings, also remove any other item or construction architect to be release.

the general contractor shall have made all required provisions for the removal of debris from the site, having charges, dumping fees, etc., in his original bid submission.

the general contractor shall provide and install signage, barricades, fencings, lighting, etc. as required for the prevention of personal injuries to the owners, its employees, representatives, clientele, or others within the area of construction.

protection devices to be installed shall comply with the requirements of all local, state and national governing codes. the general contractor shall take ordinary precautions to prevent their disruption during the course of work.

general contractor shall take ordinary precautions to secure and protect materials to be relocated or warehoused as determined by the owner.

prior to the start of any work, contractor shall secure all permits, licenses, utility connections confirmations, governmental approvals, etc. all prime permits, impact fees and any other special condition that arise beyond the normal scope of the project shall be paid by owner unless stated in the construction contract.



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SHEET NO

A-2

PLANT NOTES:

ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS PARTS I AND II, 2ND EDITION, FEBRUARY 1988 RESPECTIVELY.

ALL PLANTING BEDS TO BE TOPPED WITH 3" MULCH EXCLUDING TOP OF ROOT BALL. SEE PLANT / TREE PLANTING DETAIL.

LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.

ALL SOD SHALL BE ST. AUGUSTINE FLORATAM SOD (SOD) (UNLESS OTHERWISE NOTED) AND LAID WITH ALTERNATING AND ABUTTING.

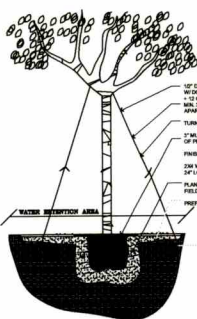
ALL PLANTING BEDS TO BE WEED AND GRASS FREE.

LANDSCAPE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND PREPARE: ONE'S OWN QUANTITY COUNTS. PRIOR TO BID COST AND COMPARE TO ARCHITECT'S PLANT LIST. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ACCURATE COUNT OF PLANT MATERIAL SPECIFIED. IN THE EVENT OF DISCREPANCIES, LANDSCAPE CONTRACTORS SHALL BRING TO THE ATTENTION OF LANDSCAPE ARCHITECT. PLAN SHALL TAKE PRECEDENCE OVER PLAN LIST.

LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.

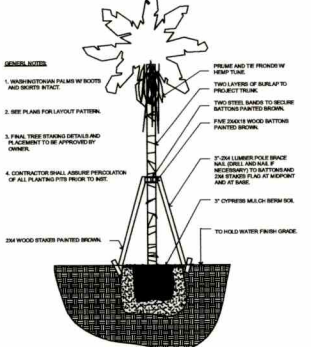
NO CHANGES SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.

ALL PLANTED AREAS TO RECEIVE 100% COVERAGE BY AN AUTOMATIC IRRIGATION SYSTEM, WITH A MINIMUM OF 50% OVERLAP. RAIN SENSOR TO BE PROVIDED.



TREE PLANTING & GUYING DETAIL

SECTION



PALM TREE DETAIL

SECTION

REQUIREMENTS:

ZONING DISTRICT: MULTI-RESIDENTIAL

OPEN SPACE:

A. SQUARE FEET OF OPEN SPACE AS REQUIRED BY CHAPTER 33, AS INDICATED ON SITE PLAN:
NET NEW PARKING AREA = 23,000 +/- SF. X 40% = 9,200 SF.

B. SQUARE FEET OF PARKING LOT OPEN SPACE REQUIRED PER CHAPTER 18A, AS INDICATED ON THE SITE PLAN:
NO. OF PARKING SPACES 60X 10 SF. PER PARKING SPACE =

C. TOTAL SF. OF LANDSCAPED OPEN SPACE REQUIRED BY CHAPTER 33 A+B =

LAWN AREA CALCULATION:

A. 9,800 TOTAL SF. OF LANDSCAPE OPEN SPACE REQUIRED BY CHAPTER 33 AND 18

B. MAXIMUM LAWN AREA (SOD) PERMITTED = 20% X 9,800 SF.

TREES:

A. NO. OF TREE REQUIRED PER NET LOT ACRE = 22

LESS EXISTING NUMBER OF TREES MEETING MINIMUM REQUIREMENTS :
22 X NET LOT ACRE 22 X .39 = 8.58

B. % PALMS ALLOWED: NO. OF TREES PROVIDED X 30% =

C. % NATIVES REQUIRED: NO. OF TREES PROVIDED X 30% =

D. STREET TREES (MAX. AVERAGE SPACING OF 35' O.C.): 122 LF. ALONG STREET / 35' =

E. STREET TREES LOCATED DIRECTLY BENEATH POWER LINES (MAX. AVG. SPACING OF 25' O.C.)

SHRUBS:

A. NO. TREES REQUIRED (A + D) X 10 = NO. OF SHRUBS REQUIRED.

B. NO. SHRUBS REQUIRED X 30% = NO. OF NATIVE SHRUBS REQUIRED 36

REQ. PROVIDED

9,200 SF 22,244 SF

600 SF 600 SF

9,800 SF. 21,644 SF

1,840 SF 1,840 SF

9 23

3 6

3 23

6 8

NA NA

170 300

36 300

TREE LEGEND

QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION
17	QV	Quercus virginiana	Live Oak	15' ht 5' spr, 2" cal, 4" cl.
21	VM	Veitchia montgomeryana	Montgomery Palm	16' oa ht, match heights
6	CD	Coccoloba diversifolia	Pidgeon Plump	15' ht 5' spr, 2" cal, 4" cl.

SHRUB LEGEND

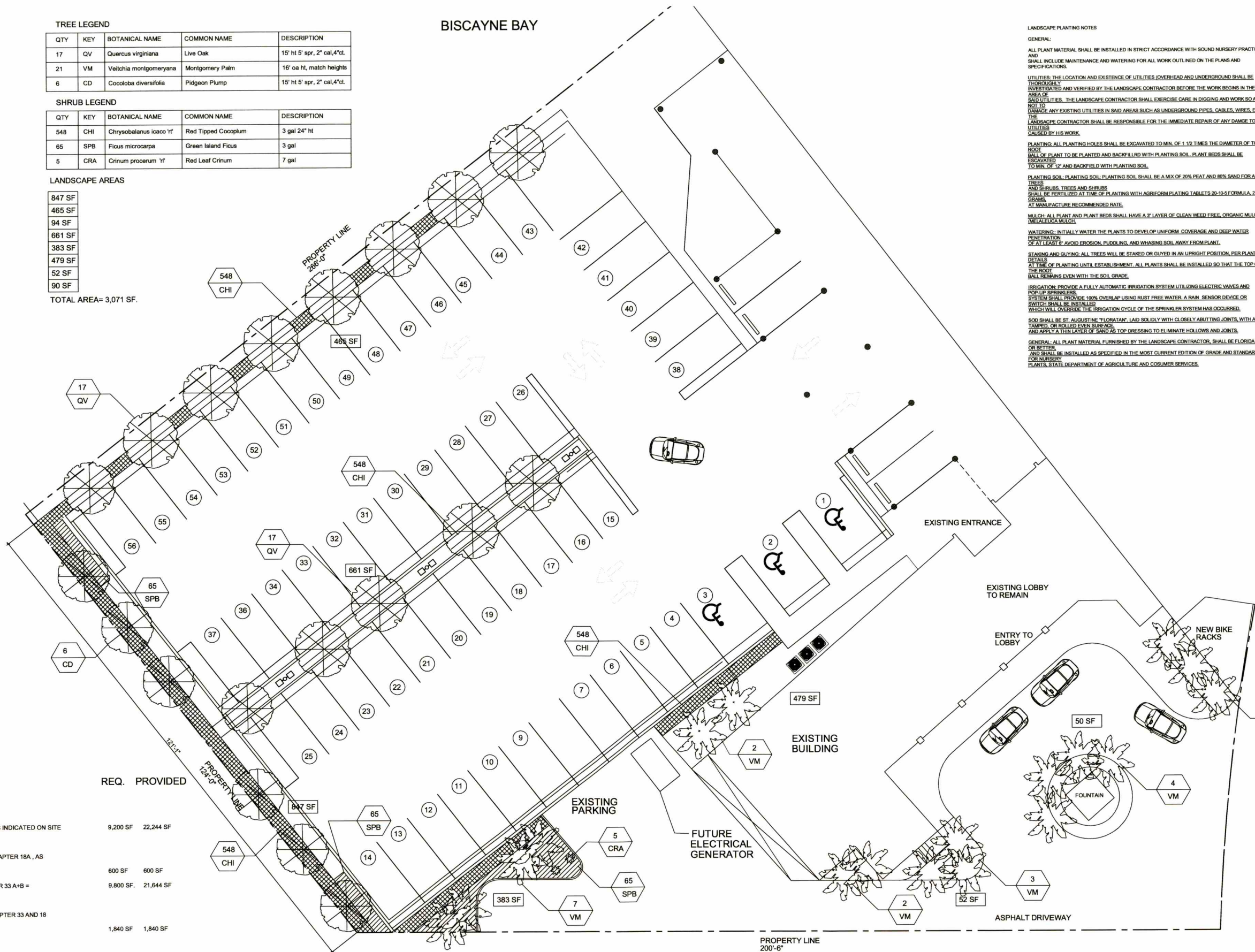
QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION
548	CHI	Chrysobalanus icaco 'yf'	Red Tipped Cocoplum	3 gal 24" ht
65	SPB	Ficus microcarpa	Green Island Ficus	3 gal
5	CRA	Crinum procerum 'yf'	Red Leaf Crinum	7 gal

LANDSCAPE AREAS

847 SF
465 SF
94 SF
661 SF
383 SF
479 SF
52 SF
90 SF

TOTAL AREA = 3,071 SF.

BISCAYNE BAY



LANDSCAPE PLANTING NOTES

GENERAL:

ALL PLANT MATERIAL SHALL BE INSTALLED IN STRICT ACCORDANCE WITH SOUND NURSERY PRACTICE AND SHALL INCLUDE MAINTENANCE AND WATERING FOR ALL WORK OUTLINED ON THE PLANS AND SPECIFICATIONS.

UTILITIES: THE LOCATION AND EXISTENCE OF UTILITIES (OVERHEAD AND UNDERGROUND SHALL BE THOROUGHLY INVESTIGATED AND VERIFIED BY THE LANDSCAPE CONTRACTOR BEFORE THE WORK BEGINS IN THE AREA OF SAID UTILITIES. THE LANDSCAPE CONTRACTOR SHALL EXERCISE CARE IN DIGGING AND WORK SO AS NOT TO DAMAGE ANY EXISTING UTILITIES IN SAID AREAS SUCH AS UNDERGROUND PIPES, CABLES, WIRES, ETC. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OF ANY DAMAGE TO UTILITIES CAUSED BY HIS WORK.

PLANTING: ALL PLANTING HOLES SHALL BE EXCAVATED TO MIN. OF 1 1/2 TIMES THE DIAMETER OF THE ROOT BALL OF PLANT TO BE PLANTED AND BACKFILLED WITH PLANTING SOIL. PLANT BEDS SHALL BE ESCAVATED TO MIN. OF 1" AND BACKFILLED WITH PLANTING SOIL.

PLANTING SOIL: PLANTING SOIL SHALL BE A MIX OF 20% PEAT AND 80% SAND FOR ALL TREES AND SHRUBS. TREES AND SHRUBS SHALL BE FERTILIZED AT TIME OF PLANTING WITH AGRIFORM PLATING TABLETS 20-10-5 FORMULA, 21 GRAMS AT MANUFACTURE RECOMMENDED RATE.

MULCH: ALL PLANT AND PLANT BEDS SHALL HAVE A 3" LAYER OF CLEAN WEED FREE, ORGANIC MULCH: METALFEDUCA MULCH.

WATERING: INITIALLY WATER THE PLANTS TO DEVELOP UNIFORM COVERAGE AND DEEP WATER PENETRATION OF AT LEAST 6" AVOID EROSION, PUDDLING, AND WHASING SOIL AWAY FROM PLANT.

STAKING AND GUYING: ALL TREES WILL BE STAKED OR GUYED IN AN UPRIGHT POSITION, PER PLANTING DETAILS AT TIME OF PLANTING UNTIL ESTABLISHMENT. ALL PLANTS SHALL BE INSTALLED SO THAT THE TOP OF THE ROOT BALL REMAINS EVEN WITH THE SOIL GRADE.

IRRIGATION: PROVIDE A FULLY AUTOMATIC IRRIGATION SYSTEM UTILIZING ELECTRIC WAVES AND POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% OVERLAP USING RUST FREE WATER. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED WHICH WILL OVERRIDE THE IRRIGATION CYCLE OF THE SPRINKLER SYSTEM HAS OCCURRED.

SOD SHALL BE ST. AUGUSTINE FLORATAM, LAID SOLIDLY WITH CLOSELY ABUTTING JOINTS, WITH A TAMPED, OR ROLLED EVEN SURFACE, AND APPLY A THIN LAYER OF SAND AS TOP DRESSING TO ELIMINATE HOLLOWES AND JOINTS.

GENERAL: ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR, SHALL BE FLORIDA #1 OR BETTER, AND SHALL BE INSTALLED AS SPECIFIED IN THE MOST CURRENT EDITION OF GRADE AND STANDARDS FOR NURSERY PLANTS, STATE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.



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LEGAL DESCRIPTION

LOT 4 AND LOT 6 OF HARBOR ISLAND ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 44 PAGE 72 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

NOTE:

PARKING AND SECURITY LIGHTING SYSTEMS SHALL BE FURNISHED AS SPECIFIED ON PERMIT SET OF DRAWINGS. SUBMITTAL DRAWINGS ARE REQUIRED FOR APPROVAL PRIOR TO PLACING ORDERS FOR THIS EQUIPMENT. AN ILL CERTIFIED POINT BY POINT LIGHTING CALCULATION IS REQUIRED TO FORM PART OF THE SUBMITTAL PACKAGE. NO DEVIATION FROM SPECIFIED EQUIPMENT WILL BE REVIEWED OR ACCEPTED.

NOTES

COMPLETE IRRIGATION SYSTEM:

4. STATION CONTROLLER WITH RAIN SENSOR, SLEEVE SCH 40 2-1/2" WITH 21" LINES AND 41" ELECTRIC VALVE WITH ALL FACTS, APPROVE BY CODE

ELECTRIC VALVE WITH VALVE BOX AND WIRE:

ZONE 1 - TOTAL OF 3 SPRAY HEADS TOTAL OF 14 GPM

ZONE 2 - TOTAL OF 6 SPRAY HEADS TOTAL OF 18 GPM

ZONE 3 - TOTAL OF 17 SPRAY HEADS TOTAL OF 26 GPM

ZONE 4 - TOTAL OF 34 SPRAY HEADS WITH 10" TOWARD NOZZLES TOTAL OF 23 GPM

ALL IRRIGATION IS COVER 100 % ADJUSTMENT WILL BE DONE WHEN FINISH.

ALL PARTS ARE APPROVE BY CODE

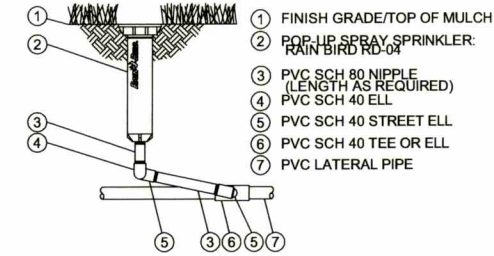
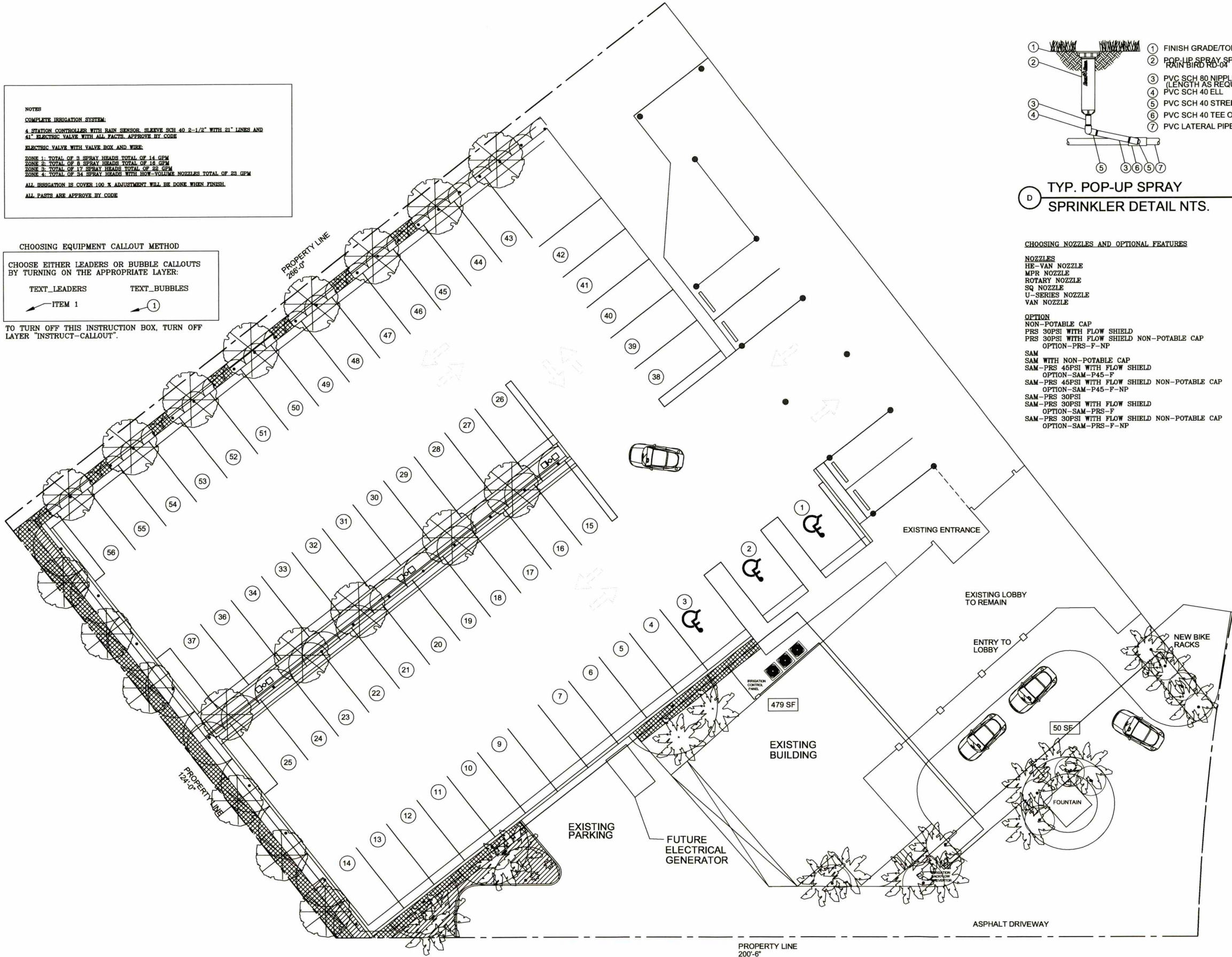
CHOOSING EQUIPMENT CALLOUT METHOD

CHOOSE EITHER LEADERS OR BUBBLE CALLOUTS BY TURNING ON THE APPROPRIATE LAYER:

TEXT_LEADERS TEXT_BUBBLES

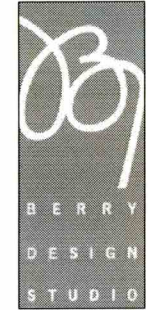
ITEM 1 1

TO TURN OFF THIS INSTRUCTION BOX, TURN OFF LAYER "INSTRUCT-CALLOUT".

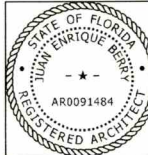


D TYP. POP-UP SPRAY SPRINKLER DETAIL NTS.

- CHOOSING NOZZLES AND OPTIONAL FEATURES
- NOZZLES
- HE-VAN NOZZLE
 - MPR NOZZLE
 - ROTARY NOZZLE
 - SQ NOZZLE
 - U-SERIES NOZZLE
 - VAN NOZZLE
- OPTION
- NON-POTABLE CAP
 - PRS 30PSI WITH FLOW SHIELD
 - PRS 30PSI WITH FLOW SHIELD NON-POTABLE CAP
 - OPTION-PRS-F-NP
- SAM
- SAM WITH NON-POTABLE CAP
 - SAM-PRS 45PSI WITH FLOW SHIELD
 - OPTION-SAM-P45-F
 - SAM-PRS 45PSI WITH FLOW SHIELD NON-POTABLE CAP
 - OPTION-SAM-P45-F-NP
 - SAM-PRS 30PSI
 - SAM-PRS 30PSI WITH FLOW SHIELD
 - OPTION-SAM-PRS-F
 - SAM-PRS 30PSI WITH FLOW SHIELD NON-POTABLE CAP
 - OPTION-SAM-PRS-F-NP
- LAYER NAME
- OPTION-NOZ-HEVAN
 - OPTION-NOZ-MPR
 - OPTION-NOZ-ROTARY
 - OPTION-NOZ-SQ
 - OPTION-NOZ-U-SERIES
 - OPTION-NOZ-VAN
- LAYER NAME
- OPTION-NP
 - OPTION-PRS-F
- OPTION-SAM
- OPTION-SAM-NP
- OPTION-SAM-PRS



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FLORIDA

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ELECTRICAL NOTES:

- ALL CONDUCTORS SHALL BE COPPER #12 THWN MINIMUM AND MUST BE INSTALLED IN RIGID GALVANIZED STEEL CONDUIT, IMC, OR EMT AS PERMITTED BY CODE. ALL RACEWAYS SHALL BE SIZED AS PER THE NATIONAL ELECTRICAL CODE CONDUIT FILL TABLES.
- RIGID GALVANIZED STEEL CONDUIT SHALL BE USED WHERE EXPOSED UP TO 4 FEET AND SUBJECT TO MECHANICAL INJURY OR IN DAMP OR WET LOCATIONS.
- CONTRACTOR SHALL INSTALL PITCH PANS FOR ALL RACEWAYS THRU ROOF.
- WALL OUTLET BOXES SHALL BE 4" SQUARE. CEILING OUTLET BOXES SHALL BE 4" SQUARE OR OCTAGON.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL ELECTRICAL PANELS, WIRING DEVICES, CONDUIT, WIRES AND CABLES, MISC. SYSTEMS, ETC. AS SHOWN ON PLANS OR AS REQUIRED FOR A COMPLETE ELECTRICAL INSTALLATION.
- PICTURES AND LAMPS SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR, UNLESS NOTED OTHERWISE.
- PANEL BOARDS AND LOAD CENTERS - ALL CURRENT CARRYING COMPONENTS SHALL BE COPPER, SPLIT OR TWIN TYPE CIRCUIT BREAKERS ARE NOT ACCEPTABLE.
- CONTRACTOR SHALL DO ALL CUTTING, SLEWING, EXCAVATING AND BACKFILLING NECESSARY FOR THE INSTALLATION OF HIS EQUIPMENT AND PATCHING THEREAFTER.
- ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL OR NATIONAL CODES. CHANGE ORDERS FOR CODE REQUIREMENTS WILL NOT BE COMPENSATED TO THE CONTRACTOR.
- ALL WIRING SHALL BE COLOR CODED AS FOLLOWS:
120/208 VOLT WYE SYSTEM
PHASE A - BLACK
PHASE B - RED
PHASE C - BLUE
NEUTRAL - WHITE
- ELECTRICAL OUTLETS (RECEPTACLES AND LIGHTING) BELOW BASE FLOOD ELEVATION SHALL BE INSTALLED AT THE HIGHEST PERMITTED ELEVATION AND SHALL BE INSTALLED ON SEPARATE INDEPENDENT CIRCUITS FROM THOSE IN THE NORMAL AREAS.
- NO APPLIANCES OR APPLIANCE OUTLETS SHALL BE INSTALLED BELOW BASE FLOOD LEVEL.
- A/C COMPRESSORS SHALL BE INSTALLED ABOVE BASE FLOOD ELEVATION.
- MAIN CIRCUIT BREAKER PANELS SHALL BE LOCATED ABOVE BASE FLOOD ELEVATION.
- CONTRACTOR IS TO VERIFY WITH FLORIDA POWER AND LIGHT LOCATION OF THE ELECTRIC METER AND POINT OF SERVICE.

LUMINAIRE SCHEDULE

SYM.	LABEL	QTY	CATALOG #	HIGHT OF POLE	FILE	LUMENS	LLF	WATTS
□-□	A	3	AVL 60M SM DG	20 FT.	AE19429. IES	46000	0.72	600
□	B	4	GLX0417-M		GLX417. IES	8000	0.72	140

STATISTICS

DESCRIPTION	SYMBOL	AVERAGE	MAX	MIN	MAX/MIN	AVG/MIN
CAL ZONE 1	+	3.8 FC	7.7 FC	1.6 FC	4.8:1	2.4:1

Phase: 1 Ø
Voltage: 120/240 v
Panel Amps: 25 Amps

PANEL "H"

(BRANCH BREAKERS TYPE DP, 15 KAIC)

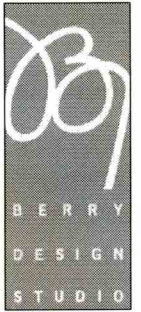
TYPE: REMAINS OR BCU
MAIN BREAKER: 150A

EFC= Ground Fault Interrupter, NCL= Non-concurrent load, REC= Receptacle, LTR= Lighting, S= Breaker with shut trip, T= Via timer, IS= Isolated ground, CT= Via contactor, SWG= On-Off Switching Duty rated breaker, as per NEC 240-60(d), LV= Via low voltage transformer, HACR= Breaker suitable for the protection of heating, A/C, and refrigeration equipment

LINE	USE	WIRE	WIRE	WIRE	WIRE	WIRE	WIRE	WIRE	WIRE	WIRE	WIRE	WIRE	WIRE	WIRE
		WIRE	WIRE	WIRE	WIRE	WIRE	WIRE	WIRE	WIRE	WIRE	WIRE	WIRE	WIRE	WIRE
1	LIGHTS	120	20	12	1/2	1,000	1	2	RECEPTABLES	120	20	12	1/2	1,000
3	EMG. LIGHTS	120	20	12	1/2	500	1	4	SITE LIGHTS	120	20	12	1/2	1,000
5	SPARE	120	20			1,000	1	6	SPARE	120	20			500
7	SPARE	120	20			1,000	1	8	SPARE	120	20			1,000
9	SPARE	120	20			1,000	1	10		120	20			1,000
11							1	12						
13							1	14						
15							1	16						
17							1	18						
19							1	20						
21							1	22						
23							1	24						

LOAD CALCULATION

TOTAL PANEL LOAD = 10,000 VA
25% CONTINUOUS LOAD = 2500 VA
FUTURE LOAD = 2,000 VA
TOTAL LOAD = 12,250 VA = 50 AMPS.



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ELECTRICAL SITE PLAN 1/32"



NOTE:

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NOTE:

ALL LIGHTING MUST BE CONTAINED WITHIN THE SITE OR NOT TO EXCEED MORE THAN 1.6 FOOT CANDLE AS SHOWN.

LIGHTING POLES MAXIMUM HEIGHT IS 20'-0"